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 11 jgranskog@bowlesverna.com

12 Attorneys for Defendants
 13 HARDEV SINGH dba THE GREENERY RESTAURANT;
 14 DIABLO HILLS GOLF ASSOCIATES, INC.;

15 UNITED STATES DISTRICT COURT
 NORTHERN DISTRICT OF CALIFORNIA

16 JAMES LLEWELLYN,
 17 Plaintiff,

18 v.

19 HARDEV SINGH dba THE GREENERY
 20 RESTAURANT; DIABLO HILLS GOLF
 ASSOCIATES, INC.; and DOES 1-10,
 21 INCLUSIVE,
 22 Defendants.

Case No. 4:16-cv-06272 MEJ
Civil Rights

**CONSENT DECREE AND ~~PROPOSED~~
 ORDER FOR INJUNCTIVE RELIEF,
 DAMAGES, AND ATTORNEY FEES,
 LITIGATION EXPENSES, AND COSTS**

23 1. Plaintiff JAMES LLEWELLYN filed a Complaint in this action on October
 24 31, 2016, to enforce provisions of the Americans with Disabilities Act of 1990 ("ADA"), 42
 25 U.S.C. §§ 12101 *et seq.*, and California civil rights laws and to obtain recovery of damages
 26 for discriminatory experiences, denial of access, and denial of civil rights against Defendants
 27 HARDEV SINGH dba THE GREENERY RESTAURANT; DIABLO HILLS GOLF
 28 ASSOCIATES, INC (the "Defendants"), relating to disability discrimination at Defendant's

CONSENT DECREE AND [PROPOSED] ORDER FOR INJUNCTIVE RELIEF,
 DAMAGES, AND ATTORNEY FEES, LITIGATION EXPENSES AND COSTS
 Case No. 4:16-cv-06272 MEJ

1 public accommodations as of September 2 and 14, 2016. Plaintiff has alleged that
2 Defendants violated Titles III of the ADA; sections 51, 52, 54, 54.1, 54.3, and 55 of the
3 California Civil Code, sections 17200 *et seq.* of the Business & Professions Code, and
4 sections 19953 *et seq.* of the Health and Safety Code by failing to provide full and equal
5 access to the patrons of the Greenery Restaurant located at 1551 Marchbanks Drive, Walnut
6 Creek, California, at the Diablo Hills Golf Course. Defendants dispute Plaintiff's claims.

7 2. In order to avoid the costs, expense, and uncertainty of protracted litigation,
8 Plaintiff and Defendants (together, the "Parties") agree to entry of this Consent Decree and
9 Order to resolve all claims regarding injunctive relief, damages, and attorneys' fees, litigation
10 expenses and costs, raised in the Complaint without the need for protracted litigation.
11 Accordingly, the Parties agree to the entry of this Order without trial or further adjudication
12 of any issues of fact or law concerning all of Plaintiff's claims for relief.

13
14 **JURISDICTION:**

15 3. The Parties to this Consent Decree and Order agree that the Court has
16 jurisdiction of this matter pursuant to 28 U.S.C. § 1331 for alleged violations of the
17 Americans with Disabilities Act of 1990, 42 U.S.C. §§ 12101 *et seq.* and pursuant to
18 supplemental jurisdiction for alleged violations of California Civil Code sections 51, 52, 54,
19 54.1, 54.3, and 55.

20 WHEREFORE, the Parties to this Consent Decree hereby agree and stipulate to the
21 Court's entry of this Consent Decree and Order, which provide as follows:

22
23 **SETTLEMENT OF INJUNCTIVE RELIEF:**

24 4. This Order shall be a full, complete, and final disposition and settlement of
25 Plaintiff's claims against Defendants for injunctive relief and damages that have arisen out of
26 the subject Complaint.

27 5. The Parties agree and stipulate that the corrective work will be performed in
28 compliance with the standards and specifications for disabled access as set forth in the

1 California Code of Regulations, Title 24-2, and Americans with Disabilities Act Standards
2 for Accessible Design, unless other standards are specifically agreed to in this Consent
3 Decree and Order.

4 a. **Remedial Measures:** The corrective work agreed upon by the Parties
5 to be performed is set forth in **Attachment A**, a set of plans proposed by defendants and red-
6 line edited by Plaintiff's architect and expert, Gary Waters, and incorporated herewith.

7 Defendants represent that the building under construction will be completed in full
8 compliance with the California Building Code and access requirements. Defendants agree to
9 undertake all of the respective remedial work as described by the red line edits of the plans.

10 In the alternative, defendants may, at their discretion use alternative, fully compliant
11 construction design and work under current standards of the California Building Code ("Title
12 24"), and approved by the relevant building department, to satisfy the requirement of this
13 Consent Decree.

14 b. **Training:** Defendants agree that within 30 days after the re-opening of
15 the restaurant, Defendants will make the following policy commitments: All staff, including
16 managers, will be trained to offer reasonable accommodations for disabled persons, including
17 affirmatively inquiring with disabled patrons as to whether they may need any reasonable
18 accommodations. Defendants agree to make reasonable accommodations in their policies
19 and practices when interacting with disabled patrons.

20 c. **Timing:** Defendants shall have until the restaurant re-opens to comply
21 with the remedial requirements of section 5(a) above. Defendants shall have until 30 days
22 after the restaurant re-opens to complete the training requirements of section 5(b) above. In
23 the event that unforeseen difficulties prevent Defendants from completing any of the agreed-
24 upon injunctive relief, Defendants or their counsel will notify Plaintiff's counsel in writing
25 within five days of discovering the delay. Plaintiff will have thirty (30) days to investigate
26 and meet and confer, and to approve the delay by stipulation or otherwise respond to
27 Defendants' notice. If the Parties cannot reach agreement regarding the delay within that
28 time period, Plaintiff may seek enforcement by the Court. Defendants or their counsel will

1 notify Plaintiff's counsel when the corrective work is completed, and, whether completed
2 not, will provide a status report to Plaintiff's counsel no later than 120 days from the Parties'
3 signing of this Consent Decree and Order.

4 d. Defendants will notify Plaintiff in writing at the end of 120 days from
5 the Parties' signing of this Consent Decree and Order as to the current status of agreed-to
6 injunctive relief, and every 60 days thereafter until all access is provided. If Defendants fail
7 to comply with the terms of this Consent Decree and Order on the agreed upon timetable
8 and/or fail to provide timely written status notification, and Plaintiff files a motion with the
9 Court to obtain compliance with these terms, Plaintiff reserves the right to seek additional
10 attorney fees for any compliance work necessitated by Defendants' failure to comply with
11 this agreement. If the Parties disagree, such fees, if any, shall be set by the Court.

12
13 **DAMAGES, ATTORNEYS' FEES, LITIGATION EXPENSES, AND COSTS:**

14 6. Defendants agree to pay Plaintiff a total of \$21,000 for Plaintiff's damages.
15 Defendant agrees to pay for Plaintiff's attorney fees, litigation expenses, and costs in the
16 amount of \$34,000. These respective amounts shall be paid in installments as follows. The
17 first installment of \$27,500 shall be delivered by noon on July 7, 2017. Additional \$27,500
18 installment will be delivered to Paul Rein's office by noon on August 4, 2017. Each
19 installment shall be paid by check payable to "PAUL L. REIN IN TRUST FOR JAMES
20 LLEWELYN" and delivered to Plaintiff's counsel's office, located at 200 Lakeside Drive,
21 Suite A, Oakland California.

22
23 **ENTIRE CONSENT DECREE AND ORDER:**

24 7. This Consent Decree and Order and **Attachment A** constitute the entire
25 agreement between the signing Parties on the matters of injunctive relief, and no other
26 statement, promise, or agreement, either written or oral, made by any of the Parties or agents
27 of any of the Parties that is not contained in this written Consent Decree and Order, shall be
28 enforceable regarding the matters of injunctive relief described herein. The Court will retain

1 jurisdiction to enforce this decree. When Defendants notify Plaintiff's attorney that all work
2 on the restaurant is complete, Plaintiff's attorney may, at his option, seek a cooperative site
3 inspection if he makes such a request within 30 days of receiving notice from Defendants of
4 completion of the work. No fees or costs for Plaintiff's work will be charged for such an
5 inspection, if any is done.

6
7 **CONSENT DECREE AND ORDER BINDING ON PARTIES AND SUCCESSORS IN**
8 **INTEREST:**

9 8. This Consent Decree and Order shall be binding on Plaintiff, Defendant, and
10 any successors-in-interest. Defendant has a duty to so notify all such successors-in-interest of
11 the existence and terms of this Consent Decree and Order during the period of the Court's
12 jurisdiction of this Consent Decree and Order.

13
14 **MUTUAL RELEASE AND WAIVER OF CIVIL CODE SECTION 1542:**

15 9. Each of the Parties to this Consent Decree and Order understands and agrees
16 that there is a risk and possibility that, subsequent to the execution of this Consent Decree
17 and Order, any or all of them will incur, suffer, or experience some further loss or damage
18 with respect to the lawsuit that is unknown or unanticipated at the time this Consent Decree
19 and Order is signed. Except for all obligations required in this Consent Decree and Order, the
20 Parties intend that this Consent Decree and Order apply to all such further loss with respect
21 to the lawsuit, except those caused by the Parties subsequent to the execution of this Consent
22 Decree and Order. Therefore, except for all obligations required in this Consent Decree and
23 Order, this Consent Decree and Order shall apply to and cover any and all claims, demands,
24 actions, and causes of action by the Parties to this Consent Decree with respect to the lawsuit,
25 whether the same are known, unknown, or hereafter discovered or ascertained, and the
26 provisions of Section 1542 of the California Civil Code are hereby expressly waived. Section
27 1542 provides as follows:
28

1 **A GENERAL RELEASE DOES NOT EXTEND TO**
2 **CLAIMS WHICH THE CREDITOR DOES NOT KNOW**
3 **OR SUSPECT TO EXIST IN HIS OR HER FAVOR AT**
4 **THE TIME OF EXECUTING THE RELEASE, WHICH**
5 **IF KNOWN BY HIM OR HER MUST HAVE**
6 **MATERIALLY AFFECTED HIS OR HER**
7 **SETTLEMENT WITH THE DEBTOR.**

8 10. Except for all obligations required in this Consent Decree and Order each of
9 the Parties to this Consent Decree and Order, on behalf of each, their respective agents,
10 representatives, predecessors, successors, heirs, partners, and assigns, releases and forever
11 discharges each other Party and all officers, directors, shareholders, subsidiaries, joint
12 venturers, stockholders, partners, parent companies, employees, agents, attorneys, insurance
13 carriers, heirs, predecessors, and representatives of each other Party, from all claims,
14 demands, actions, and causes of action of whatever kind or nature, presently known or
15 unknown, arising out of or in any way connected with the lawsuit.
16

17 **TERM OF THE CONSENT DECREE AND ORDER:**

18 11. This Consent Decree and Order shall be in full force and effect for a period of
19 sixty (60) months after the date of entry of this Consent Decree and Order by the Court.
20

21 **SEVERABILITY:**

22 12. If any term of this Consent Decree and Order is determined by any court to be
23 unenforceable, the other terms of this Consent Decree and Order shall nonetheless remain in
24 full force and effect.
25

26 **SIGNATORIES BIND PARTIES:**

27 13. Signatories on the behalf of the Parties represent that they are authorized to
28 bind the Parties to this Consent Decree and Order. This Consent Decree and Order may be
signed in counterparts and a facsimile signature shall have the same force and effect as an
original signature.

1 Dated: 7-5, 2017

PLAINTIFF JAMES LLEWELLYN

James Llewellyn

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5 Dated: _____, 2017

DEFENDANT DIABLO HILLS GOLF ASSOCIATES, INC.

6 By: _____
7 Print name: _____
8 Title: _____

9
10
11 Dated: _____, 2017

DEFENDANT HARDEV SINGH
dba THE GREENERY RESTAURANT

12 By: _____
13 Print name: _____
14 Title: _____

15
16 Approved as to form:

17 Dated: 7/5, 2017

LAW OFFICES OF PAUL L. REIN

18
19 By: *Paul L Rein*
20 PAUL L. REIN, Esq.
21 Attorneys for Plaintiff
22 JAMES LLEWELLYN

23
24 Dated: _____, 2017

BOWLES & VERNA LLP

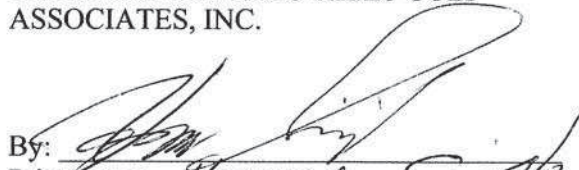
25 By: _____
26 JASON J. GRANSKOG, Esq.
27 Attorneys for Defendants
28 HARDEV SINGH dba THE GREENERY RESTAURANT; DIABLO HILLS GOLF ASSOCIATES, INC

1 Dated: _____, 2017

PLAINTIFF JAMES LLEWELLYN

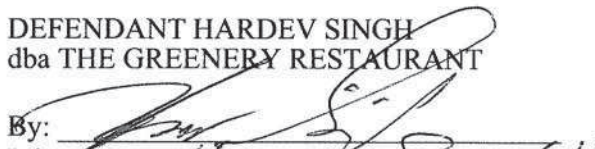
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3
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5 Dated: 6/27, 2017

DEFENDANT DIABLO HILLS GOLF ASSOCIATES, INC.

6
7
8 By: 
9 Print name: HARDEV SINGH
10 Title: MANAGER

11 Dated: 6/27, 2017

DEFENDANT HARDEV SINGH dba THE GREENERY RESTAURANT

12
13 By: 
14 Print name: HARDEV SINGH
15 Title: MANAGER

16 Approved as to form:


17 Dated: _____, 2017

LAW OFFICES OF PAUL L. REIN

18
19 By: _____
20 PAUL L. REIN, Esq.
21 Attorneys for Plaintiff
22 JAMES LLEWELLYN

23 Dated: 6-27, 2017

BOWLES & VERNA LLP

24 By: 
25 JASON J. GRANSKOG, Esq.
26 Attorneys for Defendants
27 HARDEV SINGH dba THE GREENERY RESTAURANT; DIABLO HILLS GOLF ASSOCIATES, INC

ORDER

Pursuant to stipulation, and for good cause shown, IT IS SO ORDERED.



Dated: July 10, 2017


Honorable MARIA-ELENA JAMES
United States Magistrate Judge

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DIABLO HILLS GOLF COURSE

1551 MARCHBANKS DRIVE
THE GREENERY RESTAURANT and PRO SHOP REMODEL

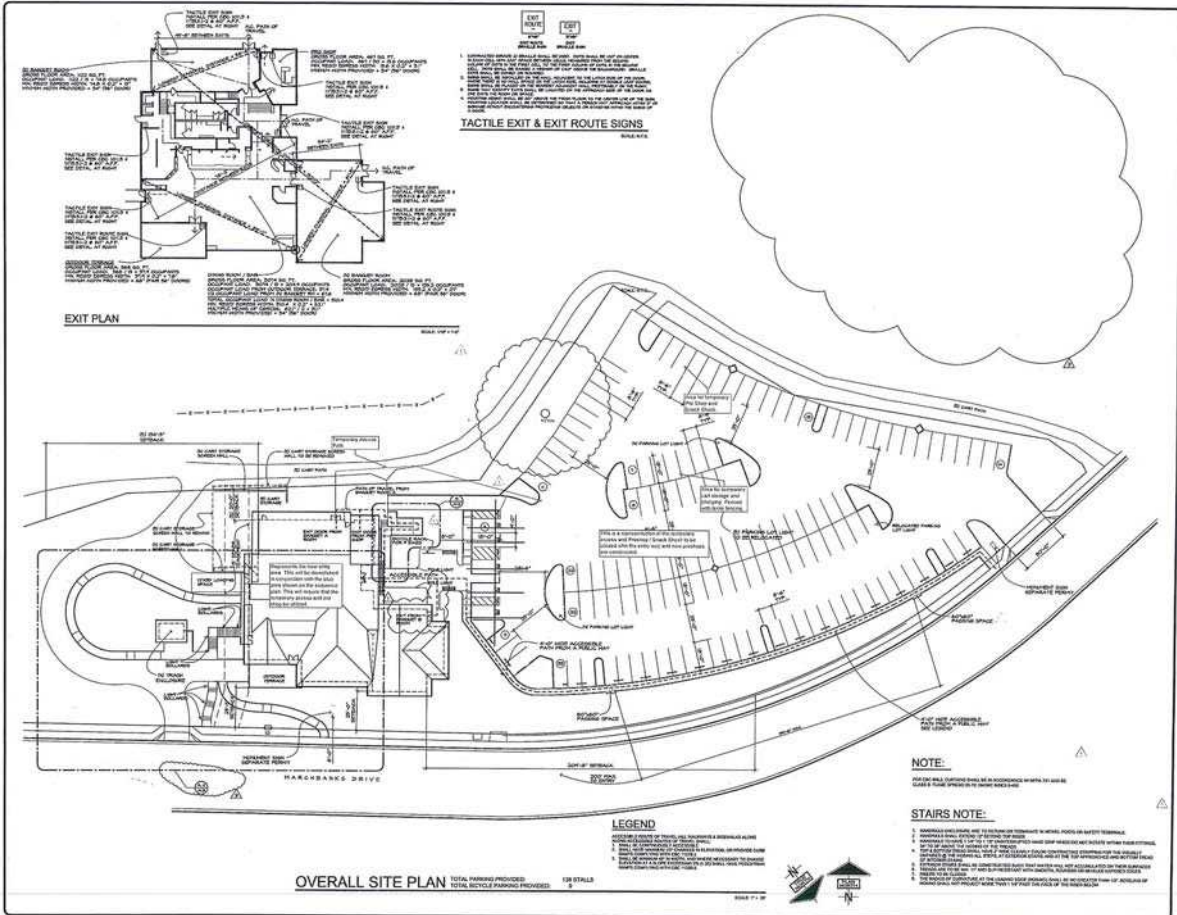
PRELIMINARY ACCESS PLAN REVIEW FOR INFORMATION PURPOSES ONLY. THIS IS NOT INTENDED TO BE A COMPLETE AND THOROUGH ACCESS PLAN REVIEW. THE REVIEW IS FOR COMPLIANCE W/ PART 207 THIS 2015 CBC & 2010 ADA-A117.1. REVIEWED BY EMMA WATERS, PMP/PL ACCESS CONSULTING LLC (707) 479-2872, EMMA@PMPACCESSCONSULTING.COM. *Mary Galt 1/31/2017*

PROJECT DIRECTORY	CODE SUMMARY	INDEX TO DRAWINGS																																																																																																																																																																																																																																																																																																																																
<p>PROPERTY DATA</p> <p>APPL & ZONING: RETRADES APR. 1514 PER 111 SLOTTED PER 111</p> <p>PARALLEL REQUIREMENTS: TIA SECTION 162.3.300 (RETRADING) USE CLASSIFICATION: R-10 USE CLASSIFICATION: R-10 USE CLASSIFICATION: R-10 USE CLASSIFICATION: R-10</p>	<p>VICINITY MAP</p>  <p>ENVIRONMENTAL HEALTH COMMENTS:</p> <p>IMPORTANT FOOD SAFETY ISSUES</p> <p>1. THE APPLICANT SHALL PROVIDE TO THE CITY A COPY OF THE FOLLOWING TO THE CITY ENGINEER FOR REVIEW AND APPROVAL:</p> <ul style="list-style-type: none"> A. FOOD SAFETY CERTIFICATE OF ANALYSIS (COSA) FROM AN ACCREDITED LABORATORY B. COPY OF THE APPLICANT'S FOOD SAFETY PLAN C. COPY OF THE APPLICANT'S FOOD SAFETY TRAINING RECORD D. COPY OF THE APPLICANT'S FOOD SAFETY HAZARD ANALYSIS 	<p>INDEX TO DRAWINGS</p> <table border="1"> <tr> <td>010</td> <td>CONTRACT SET</td> </tr> <tr> <td>015</td> <td>CALIFORNIA GREEN BUILDING STANDARDS CODE</td> </tr> <tr> <td>020</td> <td>CALIFORNIA ELECTRICAL CODE</td> </tr> <tr> <td>025</td> <td>CALIFORNIA PLUMBING CODE</td> </tr> <tr> <td>030</td> <td>CALIFORNIA MECHANICAL CODE</td> </tr> <tr> <td>035</td> <td>CALIFORNIA ENERGY CODE</td> </tr> <tr> <td>040</td> <td>CALIFORNIA GREEN BUILDING STANDARDS CODE</td> </tr> <tr> <td>045</td> <td>CITY OF WALNUT CREEK MUNICIPAL CODE</td> </tr> <tr> <td>050</td> <td>FLOOR AREA</td> </tr> <tr> <td>055</td> <td>BASEMENT FLOOR AREA</td> </tr> <tr> <td>060</td> <td>1ST FLOOR AREA</td> </tr> <tr> <td>065</td> <td>2ND FLOOR AREA</td> </tr> <tr> <td>070</td> <td>3RD FLOOR AREA</td> </tr> <tr> <td>075</td> <td>4TH FLOOR AREA</td> </tr> <tr> <td>080</td> <td>5TH FLOOR AREA</td> </tr> <tr> <td>085</td> <td>6TH FLOOR AREA</td> </tr> <tr> <td>090</td> 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P-2015-07320-1-1



WILLIAM WOOD
REGISTERED PROFESSIONAL ENGINEER
1551 MARCHBANKS DRIVE
WALNUT CREEK, CA 94596



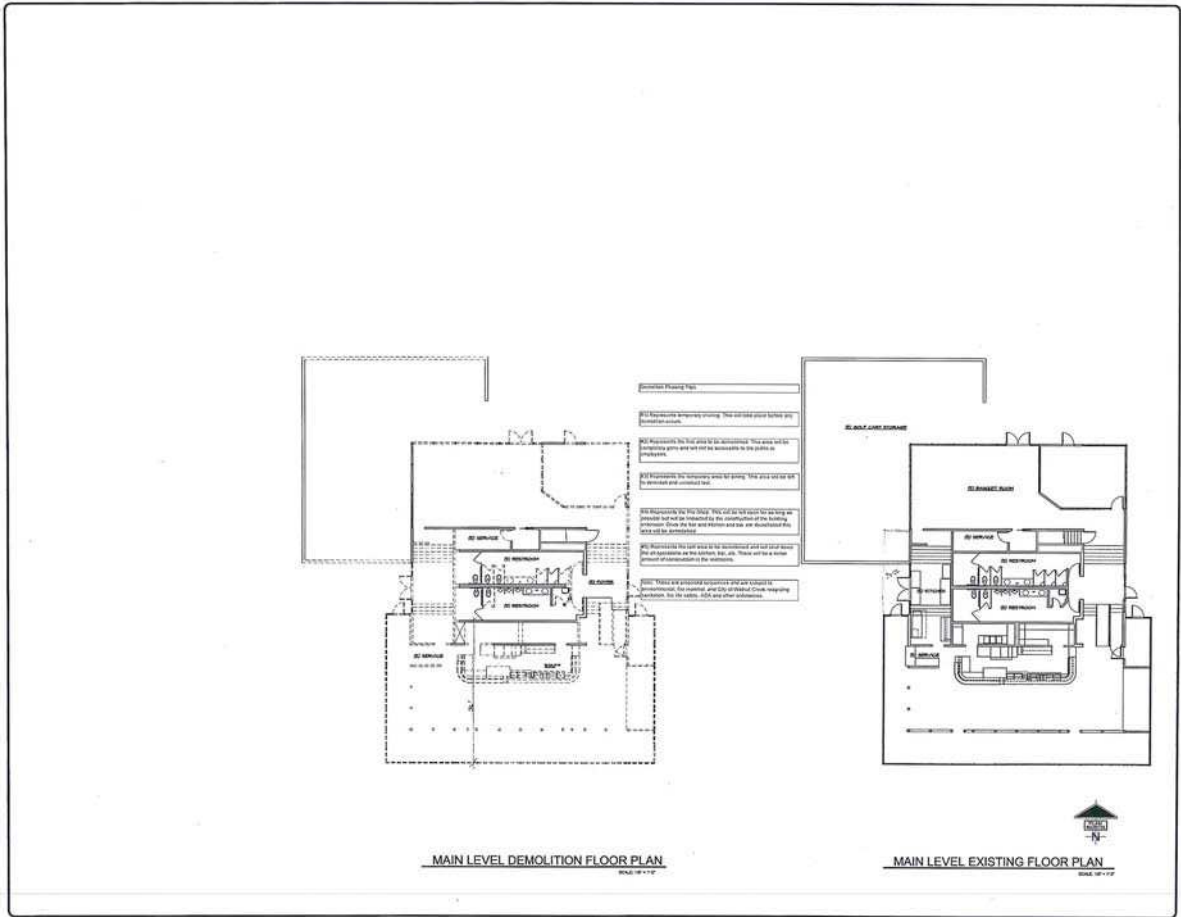
REVISION	DATE

WILLIAM WOOD
ARCHITECTS
 301 HAZEL AVENUE, SUITE 200
 DANVILLE, CALIFORNIA 94526
 (925) 752-1234

DIABLO HILLS GOLF COURSE
 1501 MARDIANOS DRIVE
 WALNUT CREEK, CA 94598

NO.	DATE	DESCRIPTION

A1



MAIN LEVEL DEMOLITION FLOOR PLAN

MAIN LEVEL EXISTING FLOOR PLAN

- Demolition Planning Notes**
- 1. Demolition of existing structure. This shall include ground leveling and foundation removal.
 - 2. All hazardous materials shall be removed. This shall include asbestos, lead-based paint, and any other hazardous materials. All hazardous materials shall be removed and disposed of in accordance with applicable regulations.
 - 3. All hazardous materials shall be removed prior to grading. This shall include lead-based paint and asbestos.
 - 4. All hazardous materials shall be removed and disposed of in accordance with applicable regulations. This shall include asbestos, lead-based paint, and any other hazardous materials.
 - 5. All hazardous materials shall be removed and disposed of in accordance with applicable regulations. This shall include asbestos, lead-based paint, and any other hazardous materials.
 - 6. All hazardous materials shall be removed and disposed of in accordance with applicable regulations. This shall include asbestos, lead-based paint, and any other hazardous materials.

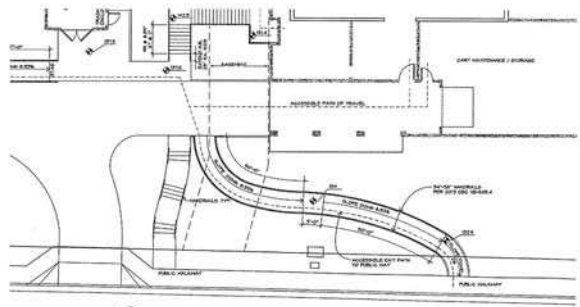
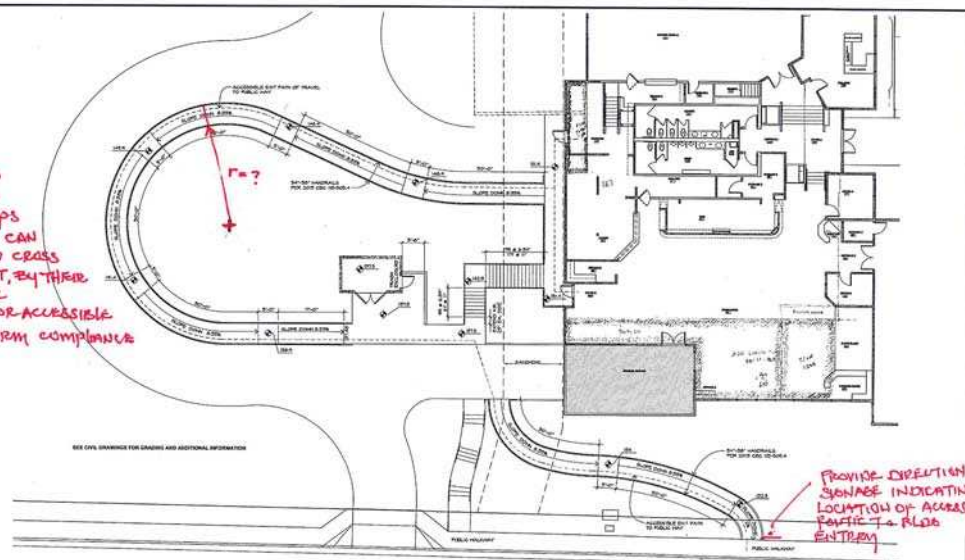


DIABLO HILLS GOLF COURSE
 1551 IMPROBANK DRIVE
 WILMINGTON, CA 95898

WILLIAM WOOD
 ARCHITECTS
 1551 IMPROBANK DRIVE
 WILMINGTON, CALIFORNIA 95898
 (925) 938-8888

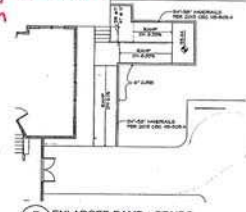
A1.1

SEE A15.5 2010
 ADVISORY 405.7 -
 CURVILINEAR RAMP
 WITH SMALL RADIUS
 CAN CREATE COMPOUND
 SLOPES AND CANNOT,
 BY THEIR NATURE,
 MEET THE REQUIREMENTS
 FOR ACCESSIBLE
 ROUTES. - CONFIRM
 COMPLIANCE



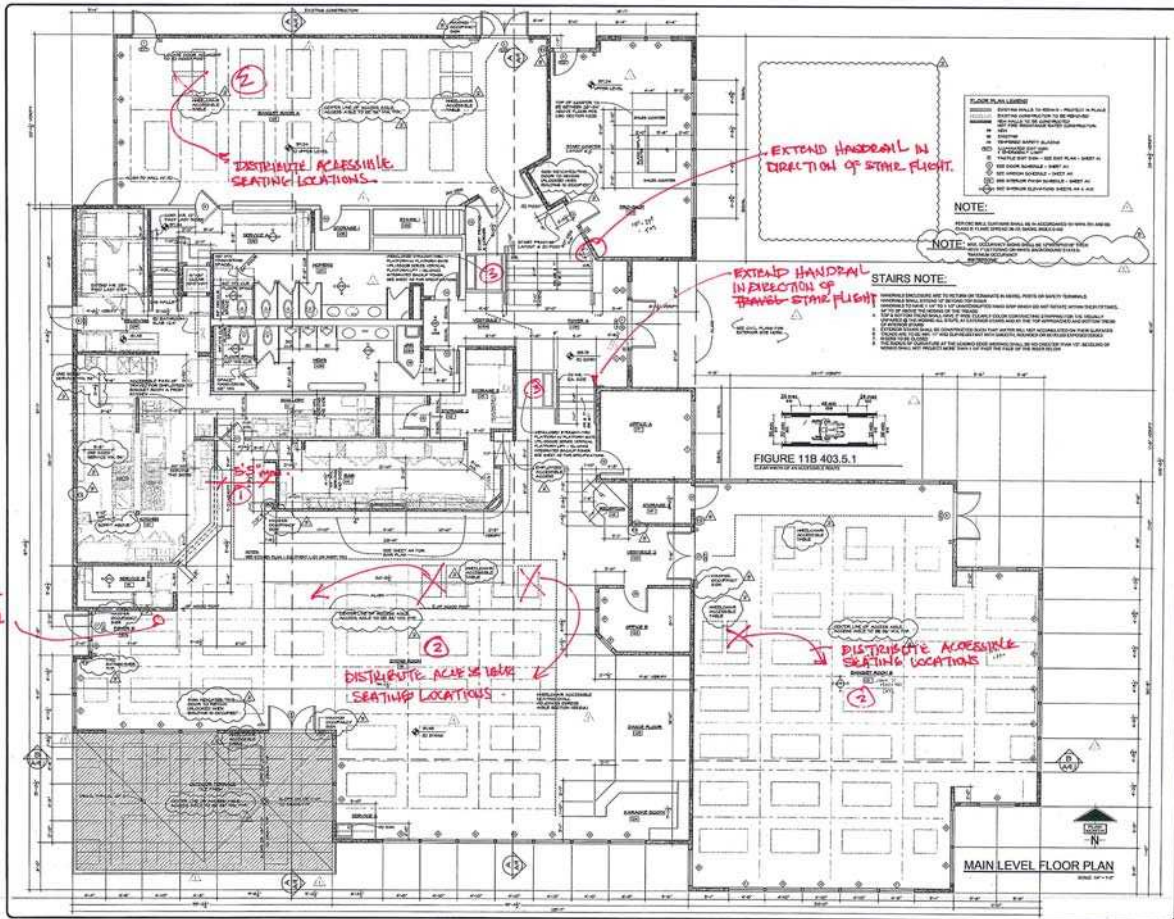
A ACCESSIBLE RAMP AT MAIN LEVEL TO BASEMENT LEVEL
 A1.5

PROVIDE FULLY DIMENSION RAMP PLANS
 & INDICATE RAMP HANDRAILS
 & TOP & BOTTOM
 EXTENSIONS &
 STAIR HANDRAILS



B ENLARGED RAMP + STAIRS
 A1.5

DIABLO HILLS GOLF COURSE 1501 MARSHBANKS DRIVE WALNUT CREEK, CA 94598												
WILLIAM WOOD REGISTERED PROFESSIONAL ENGINEER 201 HAVILLAN DRIVE DANVILLE, CALIFORNIA 94526 (925) 885-2000												
<table border="1"> <tr><td>DATE</td><td>11/11/11</td></tr> <tr><td>PROJECT</td><td>DIABLO HILLS GOLF COURSE</td></tr> <tr><td>SCALE</td><td>AS SHOWN</td></tr> <tr><td>BY</td><td>W.W.</td></tr> <tr><td>CHECKED</td><td></td></tr> <tr><td>APPROVED</td><td></td></tr> </table>	DATE	11/11/11	PROJECT	DIABLO HILLS GOLF COURSE	SCALE	AS SHOWN	BY	W.W.	CHECKED		APPROVED	
DATE	11/11/11											
PROJECT	DIABLO HILLS GOLF COURSE											
SCALE	AS SHOWN											
BY	W.W.											
CHECKED												
APPROVED												
A1.5												



SHOW THE ACCESSIBLE ROUTE TO THE EXTERIOR

DISTRIBUTE ACCESSIBLE SEATING LOCATIONS

EXTEND HANDRAIL IN DIRECTION OF STAIR FLIGHT

EXTEND HANDRAIL IN DIRECTION OF TRANSVERSE FLIGHT

DISTRIBUTE ACCESSIBLE SEATING LOCATIONS

DISTRIBUTE ACCESSIBLE SEATING LOCATIONS

ACCESSIBLE SEATING

SYMBOLS TO BE USED IN ALL PLANS

- 1. ACCESSIBLE SEATING - 30" x 48" TABLE
- 2. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE
- 3. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE
- 4. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE AND 1" CLEARANCE
- 5. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE AND 1" CLEARANCE
- 6. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE AND 1" CLEARANCE
- 7. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE AND 1" CLEARANCE
- 8. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE AND 1" CLEARANCE
- 9. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE AND 1" CLEARANCE
- 10. ACCESSIBLE SEATING - 30" x 48" TABLE WITH 5" CLEARANCE AND 1" CLEARANCE AND 1" CLEARANCE

NOTE:
ACCESSIBLE SEATING SHALL BE AS SPECIFIED IN THIS PLAN AND SHALL BE PROVIDED IN ALL SEATING AREAS.

STAIRS NOTE:
HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF ALL STAIRS, PERIODICALLY TO PROVIDE SUPPORT. HANDRAILS SHALL BE 34" TO 38" HIGH AND SHALL BE CONTINUOUS ALONG THE ENTIRE LENGTH OF THE STAIRS. HANDRAILS SHALL BE 1 1/2" DIA. AND SHALL BE FINISHED TO MATCH THE FINISH OF THE STAIRS. HANDRAILS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL STAIRS. HANDRAILS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL STAIRS. HANDRAILS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF ALL STAIRS.

FIGURE 11B 403.5.1
STAIRWAYS AND STAIRS

MAIN LEVEL FLOOR PLAN
DATE: 07/14/14

WILLIAM WOOD ARCHITECTS
1551 MARCHESSA DRIVE
WALNUT CREEK, CA 94598
DANVILLE, CALIFORNIA 94526
(925) 938-8820

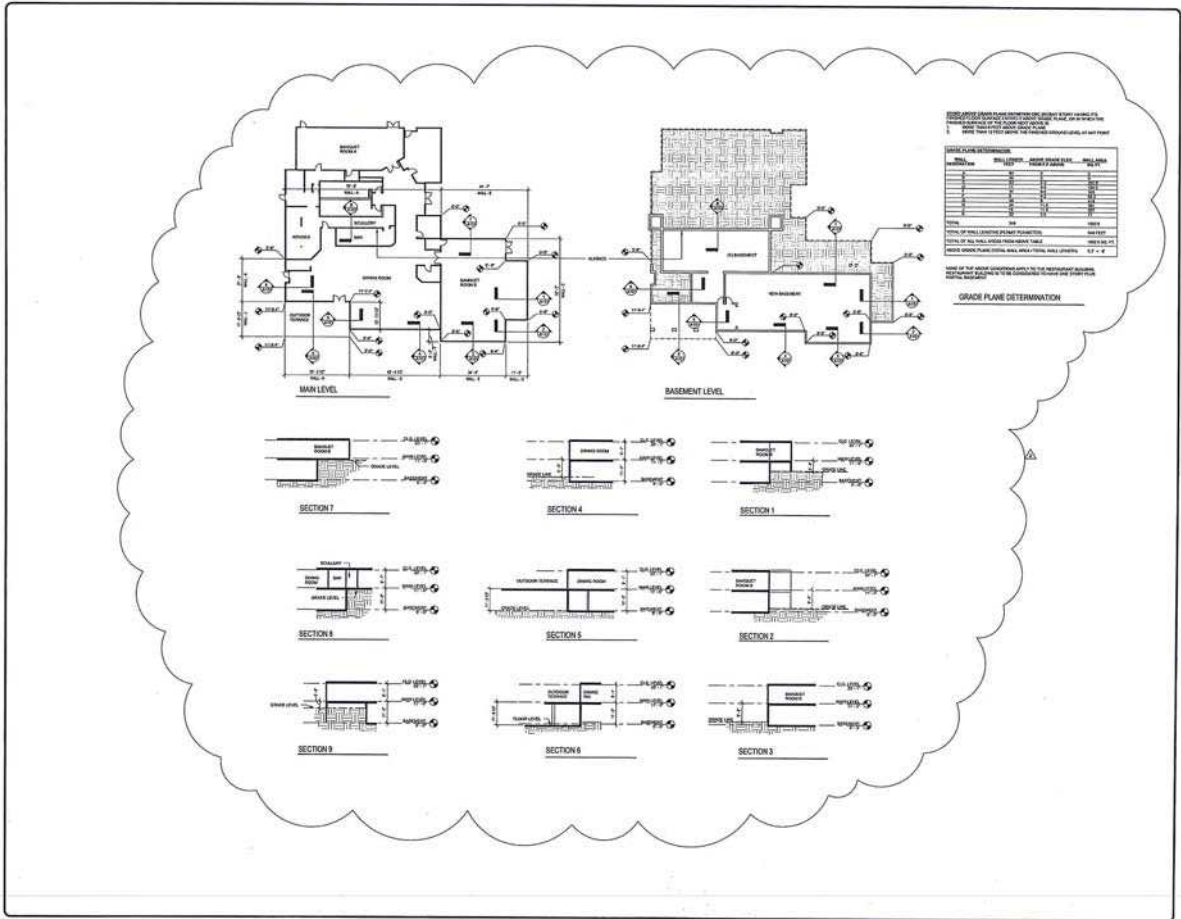
DIABLO HILLS GOLF COURSE

1. THE CLEAR UNOBSTRUCTED SPACE 30" x 48" POSITIONED FOR FRONT APPROACH MUST BE ADJACENT TO (NOT OVERLAP) THE ACCESSIBLE TABLE. THE MIN. WIDTH FROM THE EDGE OF THE LOWERED SECTION OF THE COUNTER TO THE NEAREST OBSTRUCTION IS 5'-5"

2. VERIFY ACCESSIBLE TABLES ARE PROVIDED EQUAL TO 5% OF TOTAL SEATING - ACCESSIBLE TABLES TO BE DISTRIBUTED THROUGHOUT OF DINING AREA AND PROVIDE EMIANT AMENITIES AS THE GENERAL SEATING. ENSURE ACCESSIBLE SEATING LOCATIONS ARE ON AN ACCESSIBLE ROUTE.

3. DEMONSTRATE THE REAR MIN. LANDING MIN. AT TOP AND BOTTOM 60" x 60"

A2



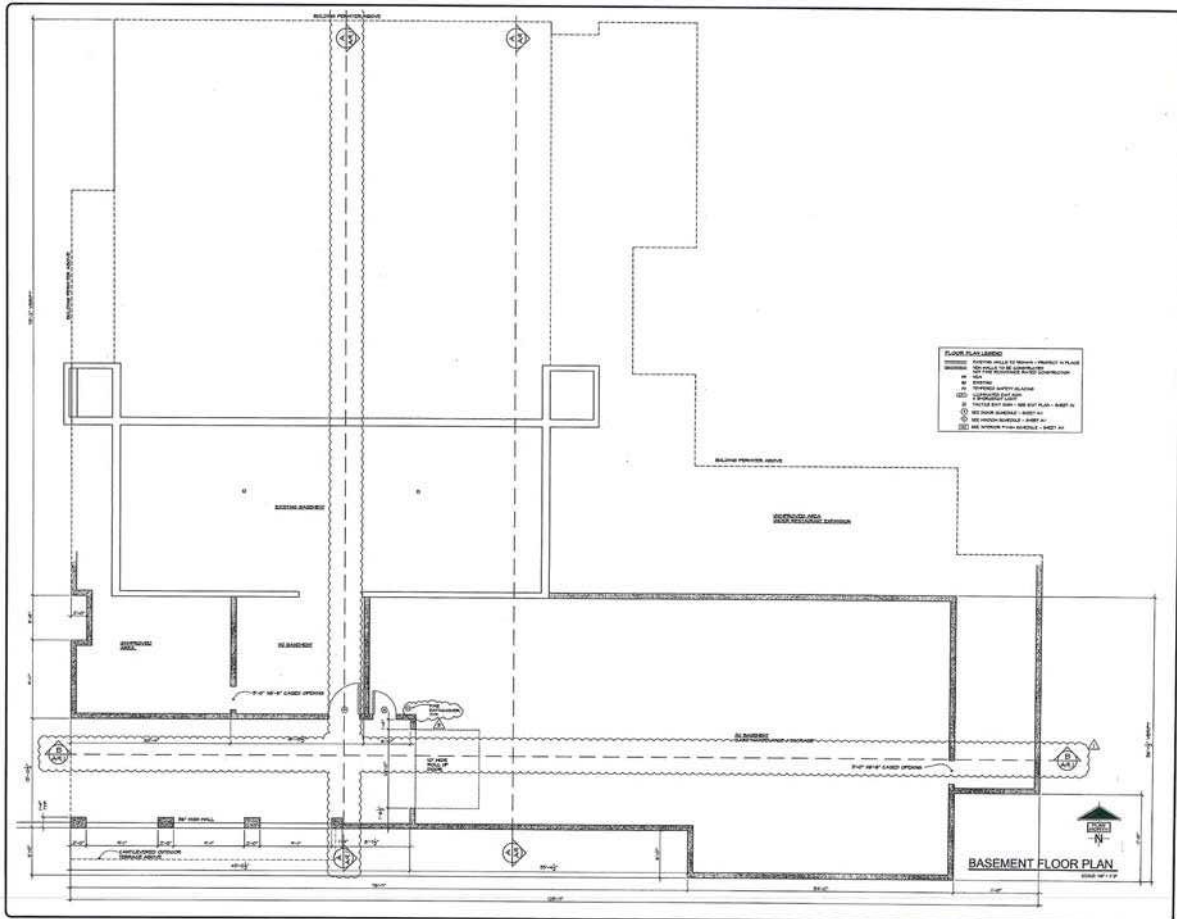
NO.	DESCRIPTION	DATE	BY	CHECKED



DIABLO HILLS GOLF COURSE
 1501 MARLBOROUGH DRIVE
 DANVILLE, CALIFORNIA 94526
 (925) 425-8800

WILLIAM WOOD ENGINEERS
 1501 MARLBOROUGH DRIVE
 DANVILLE, CALIFORNIA 94526
 (925) 425-8800

NO.	DESCRIPTION	DATE	BY	CHECKED



FLOOR FINISHES

101	Concrete Slab
102	Concrete Slab
103	Concrete Slab
104	Concrete Slab
105	Concrete Slab
106	Concrete Slab
107	Concrete Slab
108	Concrete Slab
109	Concrete Slab
110	Concrete Slab



DIABLO HILLS GOLF COURSE
 1561 MARLBOROUGH DRIVE
 WALNUT CREEK, CA 94598

WILLIAM WOOD ASSOCIATES INC.
 30 HAYVILLE AVENUE, SUITE 205
 DANVILLE, CALIFORNIA 94526
 (925) 752-1000

A4

UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)
 UNENCLD STRGTH THRU PLATF GATE

REVISIONS:

NO.	DATE	DESCRIPTION
1	01/15/20	ISSUED FOR PERMITS
2	01/15/20	REVISED PER COMMENTS
3	01/15/20	REVISED PER COMMENTS
4	01/15/20	REVISED PER COMMENTS
5	01/15/20	REVISED PER COMMENTS
6	01/15/20	REVISED PER COMMENTS
7	01/15/20	REVISED PER COMMENTS
8	01/15/20	REVISED PER COMMENTS
9	01/15/20	REVISED PER COMMENTS
10	01/15/20	REVISED PER COMMENTS
11	01/15/20	REVISED PER COMMENTS
12	01/15/20	REVISED PER COMMENTS
13	01/15/20	REVISED PER COMMENTS
14	01/15/20	REVISED PER COMMENTS
15	01/15/20	REVISED PER COMMENTS
16	01/15/20	REVISED PER COMMENTS
17	01/15/20	REVISED PER COMMENTS
18	01/15/20	REVISED PER COMMENTS
19	01/15/20	REVISED PER COMMENTS
20	01/15/20	REVISED PER COMMENTS



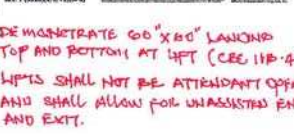
UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)
 UNENCLD STRGTH THRU PLATF GATE



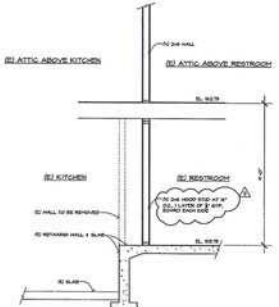
UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)
 UNENCLD STRGTH THRU PLATF GATE



UNENCLOSED STRAIGHT-THRU PLATFORM W/PLATFORM GATE (NO PIT)
 UNENCLD STRGTH THRU PLATF GATE



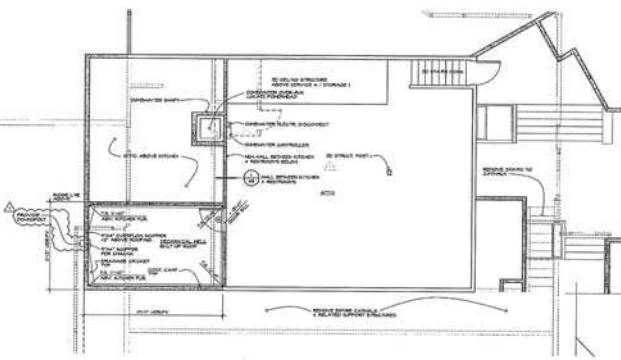
**DEMONSTRATE 60" X 60" LANDING
 TOP AND BOTTOM AT LIFT (SEE 11B-410-7)
 LIFTS SHALL NOT BE ATTENDANT OPERATED
 AND SHALL ALLOW FOR UNASSISTED ENTRY
 AND EXIT.**



WALL SECTION

SCALE LEGEND:

- 1" = 1'-0" (GENERAL)
- 1/4" = 1'-0" (MECHANICAL)
- 1/8" = 1'-0" (ELECTRICAL)
- 1/16" = 1'-0" (PLUMBING)
- 1/32" = 1'-0" (MECHANICAL)
- 1/64" = 1'-0" (ELECTRICAL)
- 1/128" = 1'-0" (PLUMBING)



ATTIC / MECHANICAL WELL PLAN

NO.	DATE	DESCRIPTION
1	01/15/20	ISSUED FOR PERMITS
2	01/15/20	REVISED PER COMMENTS
3	01/15/20	REVISED PER COMMENTS
4	01/15/20	REVISED PER COMMENTS
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18	01/15/20	REVISED PER COMMENTS
19	01/15/20	REVISED PER COMMENTS
20	01/15/20	REVISED PER COMMENTS

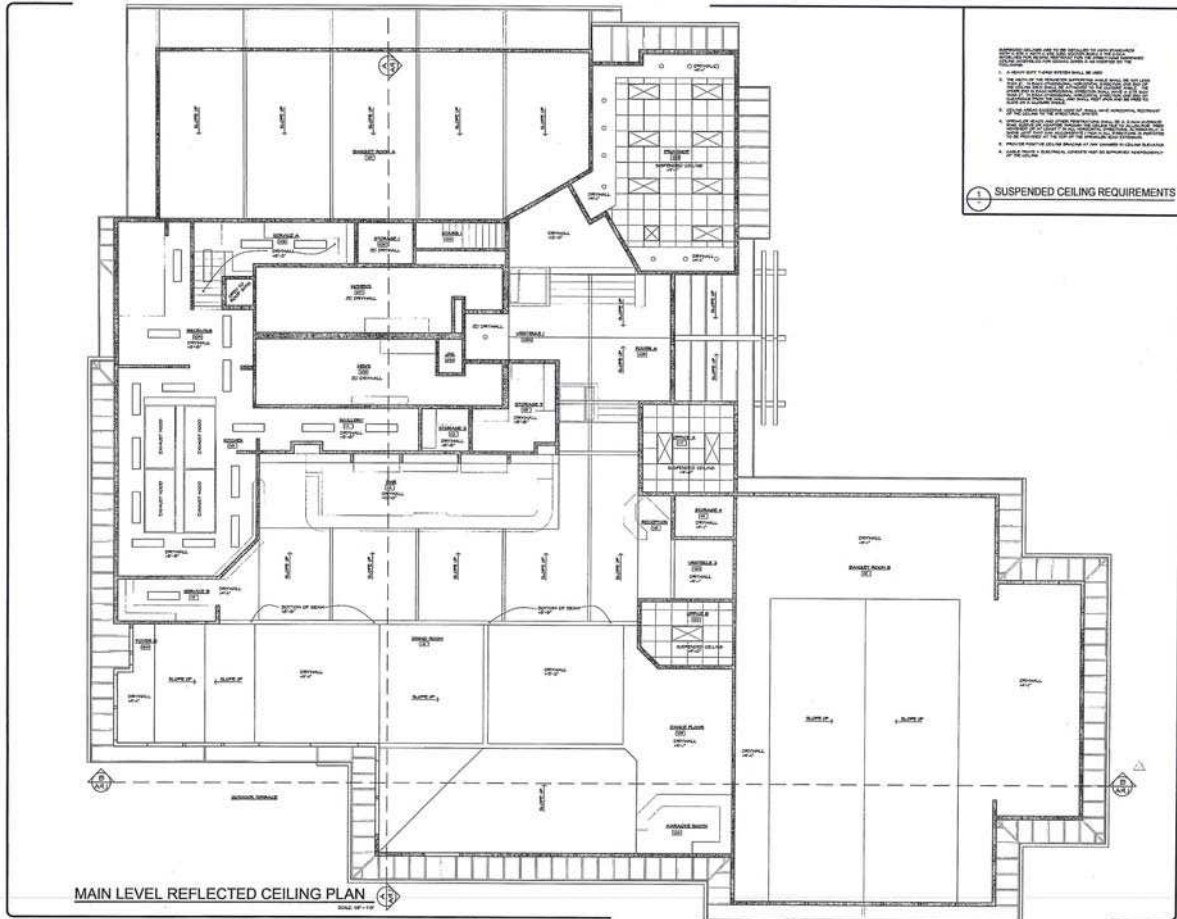


DIABLO HILLS GOLF COURSE

WILLIAM WOOD ARCHITECTS
 1951 MARCHESSA DRIVE
 DANVILLE, CALIFORNIA 94526
 (925) 265-8333

NO.	DATE	DESCRIPTION
1	01/15/20	ISSUED FOR PERMITS
2	01/15/20	REVISED PER COMMENTS
3	01/15/20	REVISED PER COMMENTS
4	01/15/20	REVISED PER COMMENTS
5	01/15/20	REVISED PER COMMENTS
6	01/15/20	REVISED PER COMMENTS
7	01/15/20	REVISED PER COMMENTS
8	01/15/20	REVISED PER COMMENTS
9	01/15/20	REVISED PER COMMENTS
10	01/15/20	REVISED PER COMMENTS
11	01/15/20	REVISED PER COMMENTS
12	01/15/20	REVISED PER COMMENTS
13	01/15/20	REVISED PER COMMENTS
14	01/15/20	REVISED PER COMMENTS
15	01/15/20	REVISED PER COMMENTS
16	01/15/20	REVISED PER COMMENTS
17	01/15/20	REVISED PER COMMENTS
18	01/15/20	REVISED PER COMMENTS
19	01/15/20	REVISED PER COMMENTS
20	01/15/20	REVISED PER COMMENTS

A5



SUSPENDED CEILING REQUIREMENTS

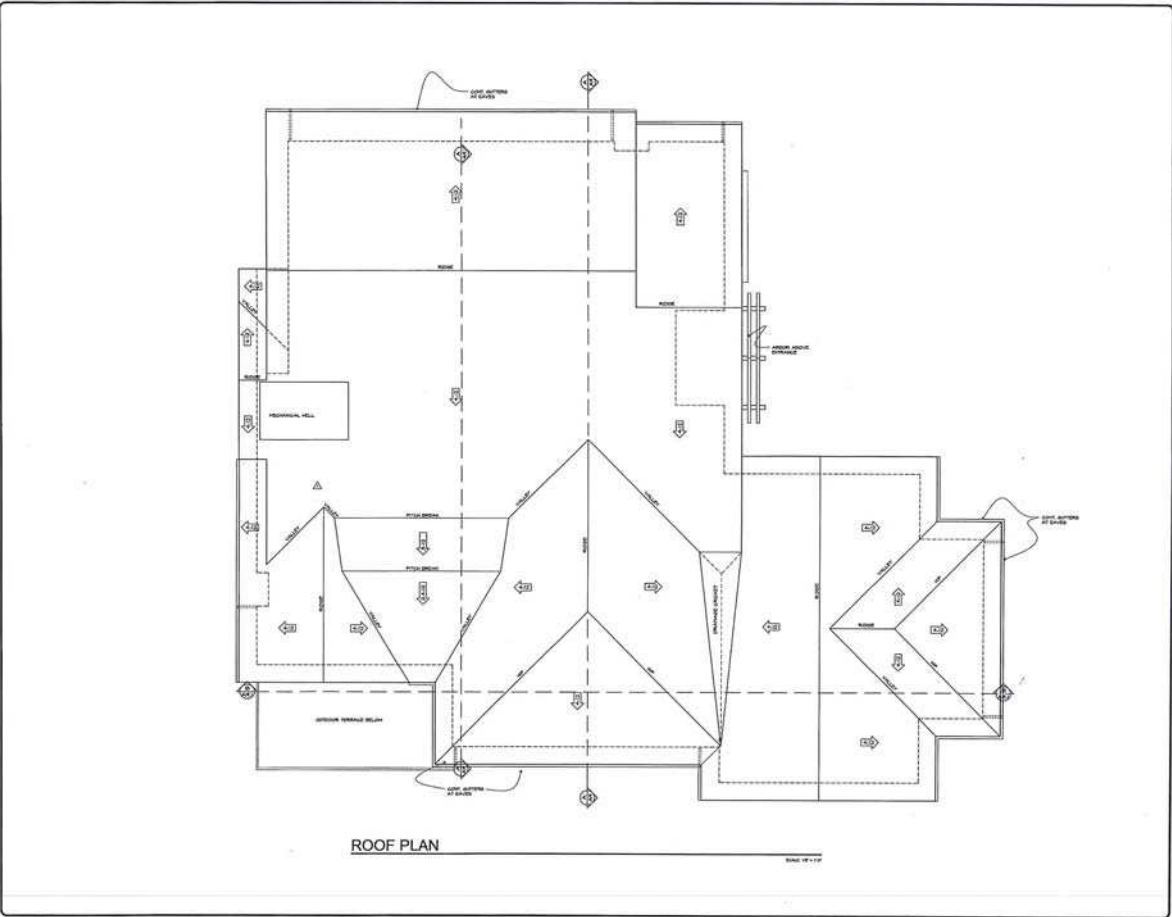
1. ALL CEILING LIGHT FIXTURES SHALL BE TYPE "A" OR BETTER.
2. THE CEILING SHALL BE FINISHED WITH A MINIMUM OF 2" CLEARANCE TO THE LIGHT FIXTURES.
3. ALL CEILING LIGHT FIXTURES SHALL BE TYPE "A" OR BETTER.
4. ALL CEILING LIGHT FIXTURES SHALL BE TYPE "A" OR BETTER.
5. ALL CEILING LIGHT FIXTURES SHALL BE TYPE "A" OR BETTER.



DIABLO HILLS GOLF COURSE
 1851 MARSHBANK DRIVE
 MOUNT CREEK, CA 94029

WILLIAM WOOD ARCHITECTS, INC.
 1851 MARSHBANK DRIVE
 MOUNT CREEK, CA 94029

Project:	
Client:	
Date:	
Scale:	
Sheet:	
A6	



ROOF PLAN

Scale: 1/8" = 1'-0"

NO.	REVISION	DATE



DIABLO HILLS GOLF COURSE

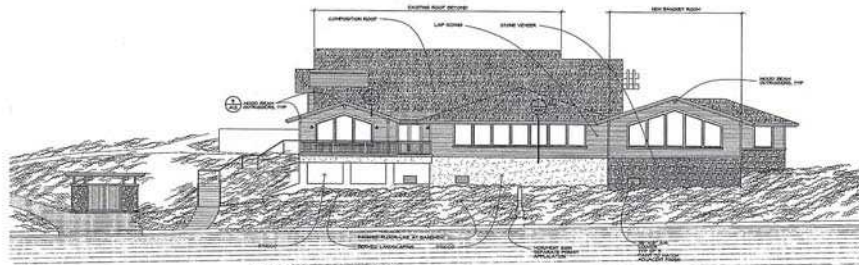
1851 MARSHBANK DRIVE
WALNUT CREEK CA 94596

WILLIAM WOOD
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
NO. 38422
DANVILLE, CALIFORNIA 94525
(925) 253-2533

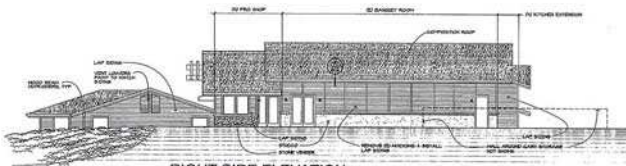
NO.	REVISION	DATE

A7

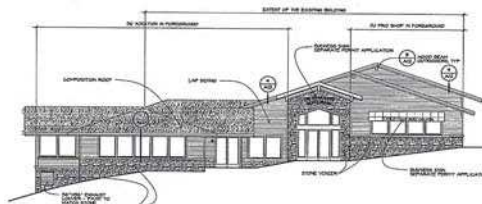
SCALE 1/8" = 1'-0"



STREET ELEVATION
SCALE 1/8" = 1'-0"

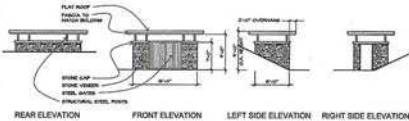


RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"

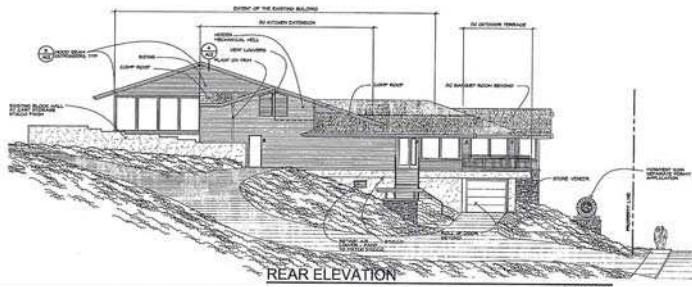


ENTRY (FRONT) ELEVATION
SCALE 1/8" = 1'-0"

MATERIAL FINISHES	
1	STONE
2	WOOD
3	BRICK
4	GLASS
5	PAINT
6	CONCRETE
7	ASPHALT
8	GRAVEL
9	ROOF
10	LANDSCAPE
11	WATER
12	SEWER
13	ELECTRICAL
14	MECHANICAL
15	PLUMBING
16	STRUCTURAL
17	FOUNDATION
18	ROOFING
19	CLADDING
20	GLAZING
21	MECHANICAL
22	ELECTRICAL
23	PLUMBING
24	STRUCTURAL
25	FOUNDATION
26	ROOFING
27	CLADDING
28	GLAZING
29	MECHANICAL
30	ELECTRICAL
31	PLUMBING
32	STRUCTURAL
33	FOUNDATION
34	ROOFING
35	CLADDING
36	GLAZING
37	MECHANICAL
38	ELECTRICAL
39	PLUMBING
40	STRUCTURAL
41	FOUNDATION
42	ROOFING
43	CLADDING
44	GLAZING
45	MECHANICAL
46	ELECTRICAL
47	PLUMBING
48	STRUCTURAL
49	FOUNDATION
50	ROOFING
51	CLADDING
52	GLAZING
53	MECHANICAL
54	ELECTRICAL
55	PLUMBING
56	STRUCTURAL
57	FOUNDATION
58	ROOFING
59	CLADDING
60	GLAZING
61	MECHANICAL
62	ELECTRICAL
63	PLUMBING
64	STRUCTURAL
65	FOUNDATION
66	ROOFING
67	CLADDING
68	GLAZING
69	MECHANICAL
70	ELECTRICAL
71	PLUMBING
72	STRUCTURAL
73	FOUNDATION
74	ROOFING
75	CLADDING
76	GLAZING
77	MECHANICAL
78	ELECTRICAL
79	PLUMBING
80	STRUCTURAL
81	FOUNDATION
82	ROOFING
83	CLADDING
84	GLAZING
85	MECHANICAL
86	ELECTRICAL
87	PLUMBING
88	STRUCTURAL
89	FOUNDATION
90	ROOFING
91	CLADDING
92	GLAZING
93	MECHANICAL
94	ELECTRICAL
95	PLUMBING
96	STRUCTURAL
97	FOUNDATION
98	ROOFING
99	CLADDING
100	GLAZING



TRASH ENCLOSURE ELEVATIONS
SCALE 1/8" = 1'-0"



REAR ELEVATION
SCALE 1/8" = 1'-0"

NO.	DATE	BY	CHKD.



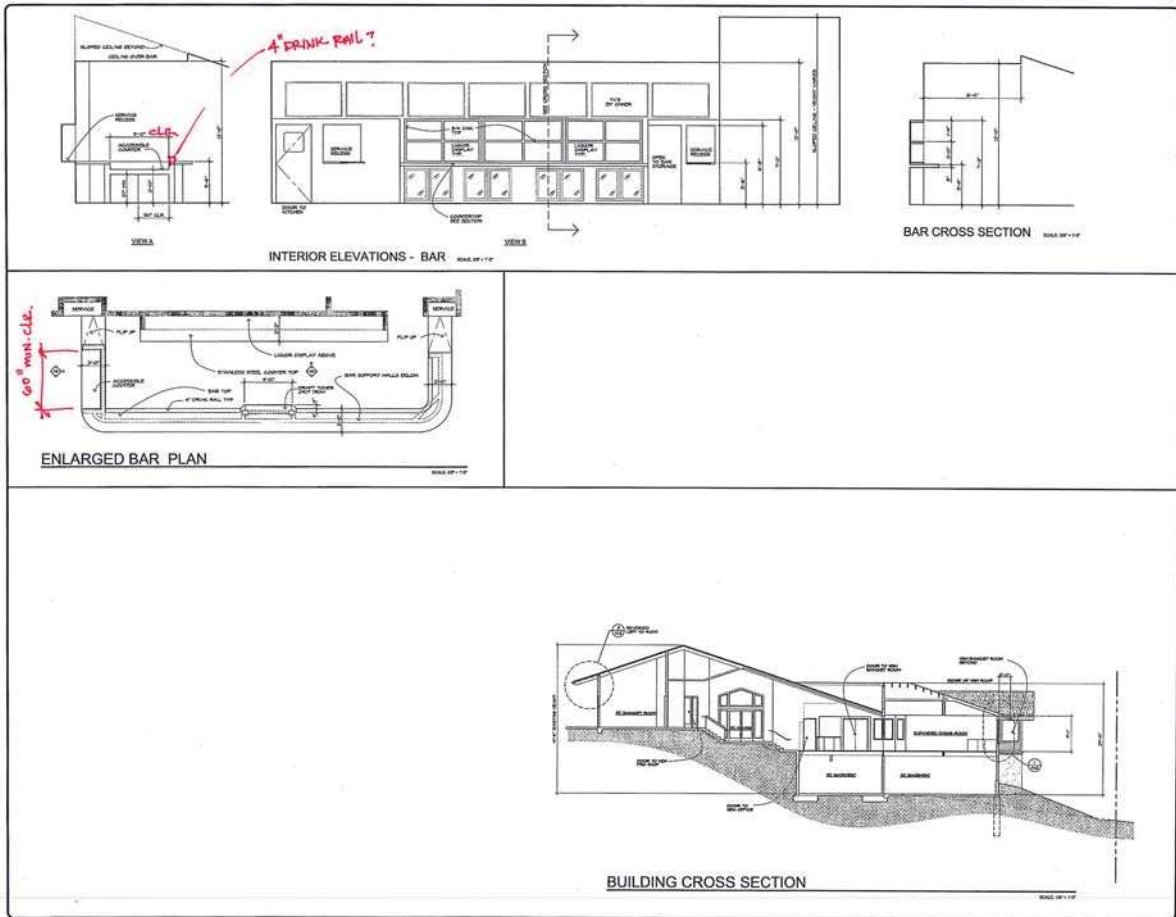
DIABLO HILLS GOLF COURSE

1185 IMPROVEMENT DRIVE
WALNUT CREEK, CA 94598

WILLIAM WOOD ASSOCIATES, INC.
301 HANLEY AVENUE, SUITE 200
DANVILLE, CALIFORNIA 94526
(925) 754-8888

NO.	DATE	BY	CHKD.

A8



NO.	REVISION

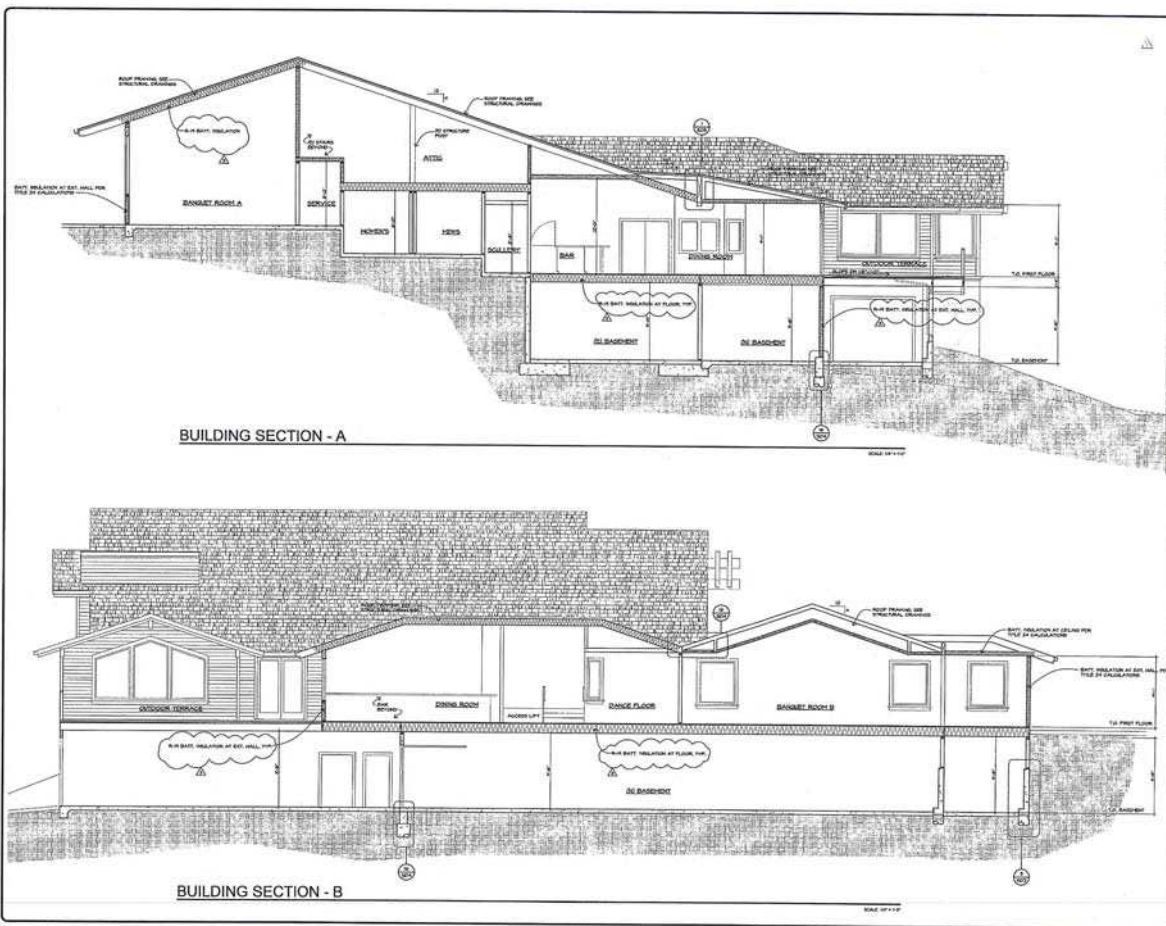


DIABLO HILLS GOLF COURSE

1801 HARBORLAND DRIVE
MOUNTAIN VIEW, CA 94038

WILLIAM WOOD ARCHITECTURE, INC.
2013 15TH STREET, SUITE 200
DANVILLE, CALIFORNIA 94526
(925) 441-2322

DATE: 01/12/16
PROJECT: DIABLO HILLS GOLF COURSE
SHEET: A9
OF: 08/11



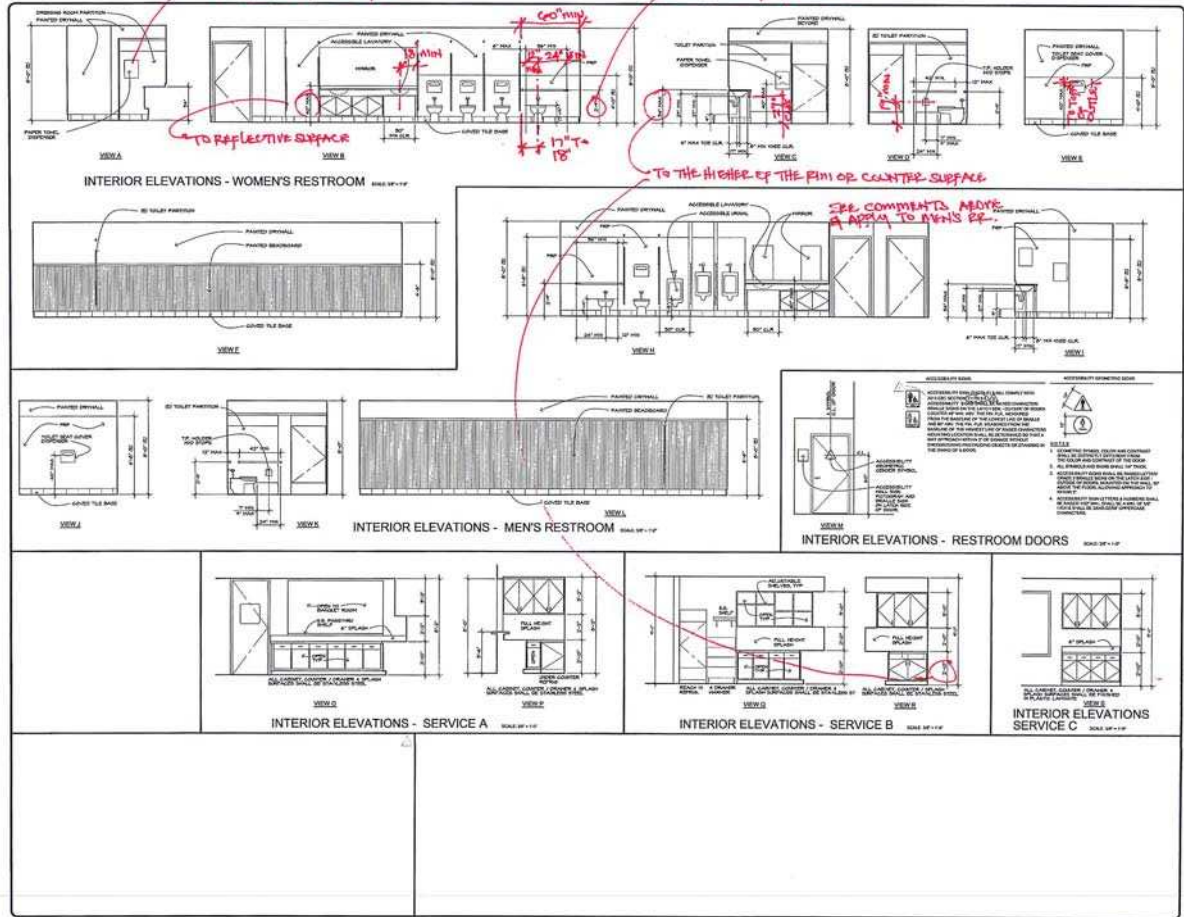


DIABLO HILLS GOLF COURSE
 1801 MARBORNS DRIVE
 WALNUT CREEK, CA 94598

WILLIAM WOOD
 ARCHITECT
 30 HAVERTY AVENUE, SUITE 2025
 DANVILLE, CALIFORNIA 94526
 (925) 454-6222

A9.1

SECTA 0902

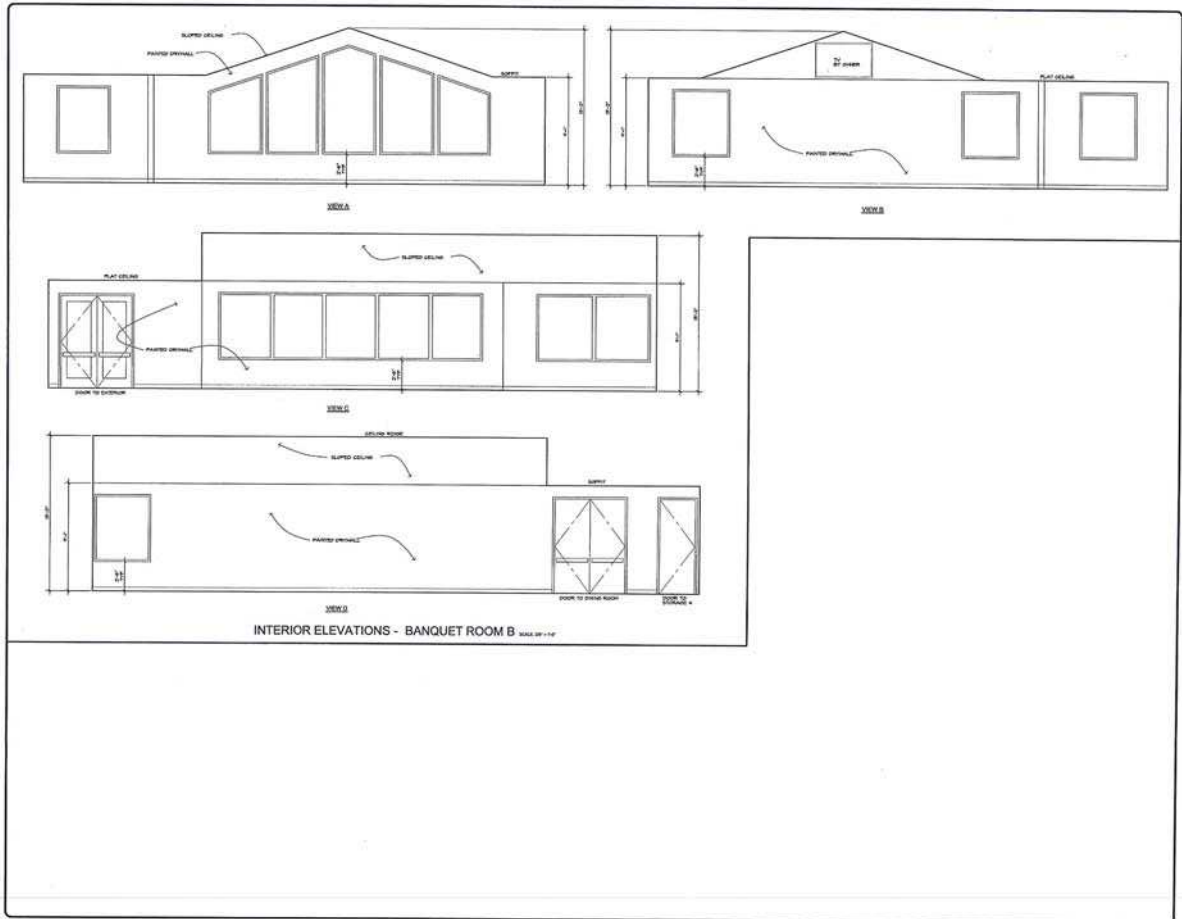




DIABLO HILLS GOLF COURSE
 1551 MARSHBANK DRIVE
 WALNUT CREEK, CA 94598

WILLIAM WOOD ARCHITECTS, INC.
 1551 MARSHBANK DRIVE
 WALNUT CREEK, CALIFORNIA 94598
 (925) 835-8820
 WWW.WWARCHITECTS.COM

No.	Description	By	Date



INTERIOR ELEVATIONS - BANQUET ROOM B SCALE: 1/4" = 1'-0"

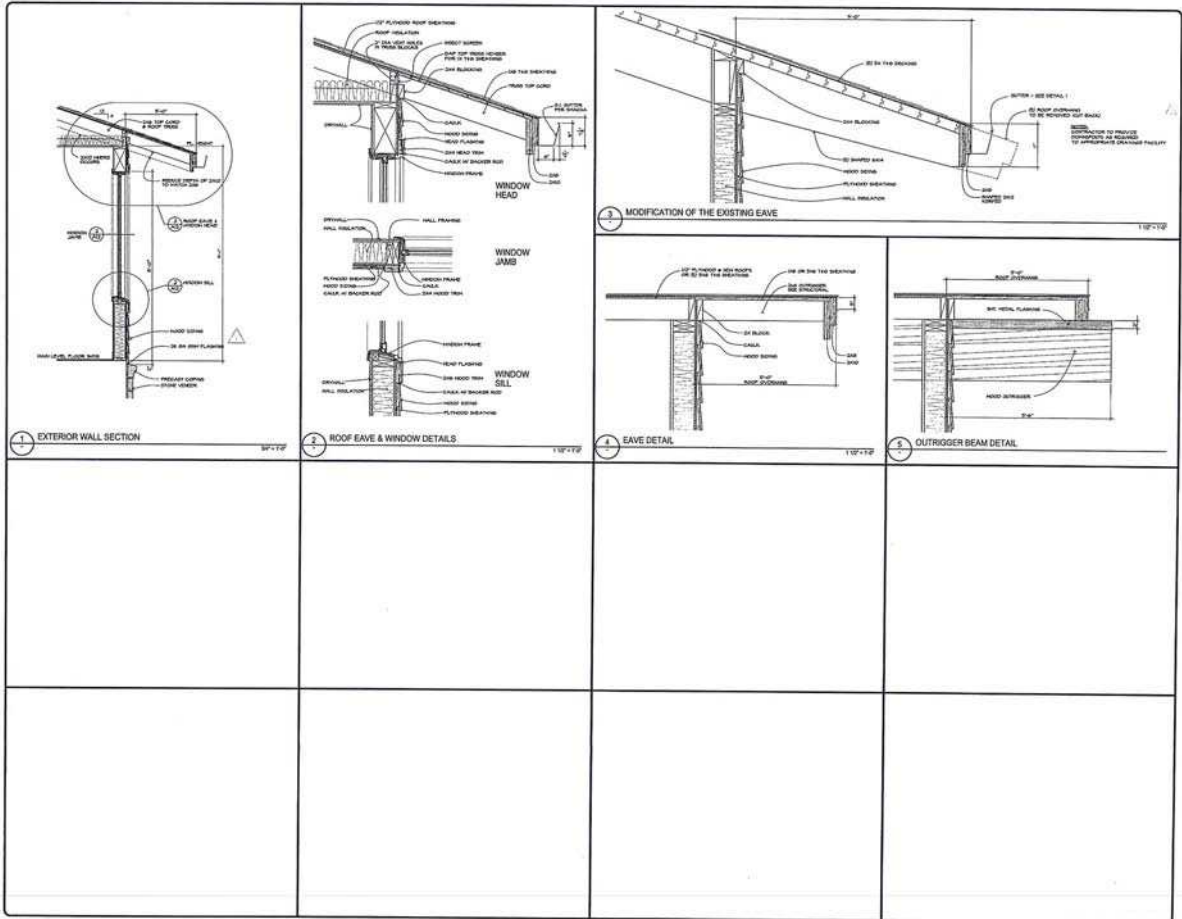


DIABLO HILLS GOLF COURSE

1581 MARSHBANKS DRIVE
WALNUT CREEK CA 94598

WILLIAM WOOD ARCHITECTS
30 HAVILLE AVENUE, SUITE 300
DANVILLE, CALIFORNIA 94526
(925) 830-9020

NO.	
DATE	
BY	
CHECKED	
A10.1	



NO.	REVISION	DATE



DIABLO HILLS GOLF COURSE
 1551 MARSHBANK DRIVE
 WILSON CREEK, CA 95088

WILLIAM WOOD ASSOCIATES, INC.
 301 HARTZ AVENUE, SUITE 200
 DANVILLE, CALIFORNIA 94526
 (925) 825-1100
 WWW.WWASSOCIATES.COM

NO.	REVISION	DATE

REVISION	DATE



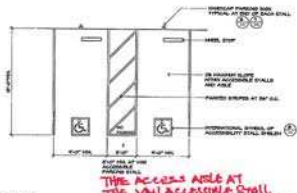
DIABLO HILLS GOLF COURSE
1851 MARSHBANKS DRIVE
WALNUT CREEK CA 94598

WILLIAM WOOD
REGISTERED PROFESSIONAL ENGINEER
301 MARSH AVENUE, SUITE 205
DANVILLE, CALIFORNIA 94526
(925) 939-2500

DATE	
BY	
A14	

ACCESSIBLE PARKING SITES

1. THE ACCESSIBLE PARKING SPACE IS 8' 0" BY 5' 6".
2. PROVIDE ACCESSIBLE ENTRANCE, ACCESSIBLE BY EITHER SIDE OF EACH SIDEWALK, TO THE ACCESSIBLE PARKING SPACE. THE ENTRANCE TO THE ACCESSIBLE PARKING SPACE IS TO BE LOCATED ON THE SIDE OF THE SPACE CLOSEST TO THE SIDEWALK.
3. PROVIDE LEADING AND TRAILING ACCESSIBLE PAVED SURFACES TO EACH SIDE OF THE ACCESSIBLE PARKING SPACE. THE LEADING AND TRAILING SURFACES ARE TO BE PAVED WITH THE SAME SURFACING AS THE ACCESSIBLE PARKING SPACE. THE LEADING AND TRAILING SURFACES ARE TO BE PAVED WITH A MINIMUM WIDTH OF 4' 0" AND A MINIMUM LENGTH OF 12' 0".
4. PROVIDE ADEQUATE PARKING SPACE FOR ACCESSIBILITY TO THE ACCESSIBLE PARKING SPACE. THE PARKING SPACE IS TO BE PAVED WITH THE SAME SURFACING AS THE ACCESSIBLE PARKING SPACE. THE PARKING SPACE IS TO BE PAVED WITH A MINIMUM WIDTH OF 8' 0" AND A MINIMUM LENGTH OF 12' 0".
5. PROVIDE AN ADJUSTABLE HEIGHT SIGN AT THE ACCESSIBLE PARKING SPACE. THE SIGN IS TO BE PAVED WITH THE SAME SURFACING AS THE ACCESSIBLE PARKING SPACE. THE SIGN IS TO BE PAVED WITH A MINIMUM WIDTH OF 12' 0" AND A MINIMUM LENGTH OF 12' 0".



2 TYPICAL ACCESSIBLE PARKING STALLS

THIS ACCESSIBLE AT THE WALL ACCESSIBLE STALL SHALL BE ON THE PASSENGER SIDE OF THE SPACE.



3 UNAUTHORIZED VEHICLE SIGN



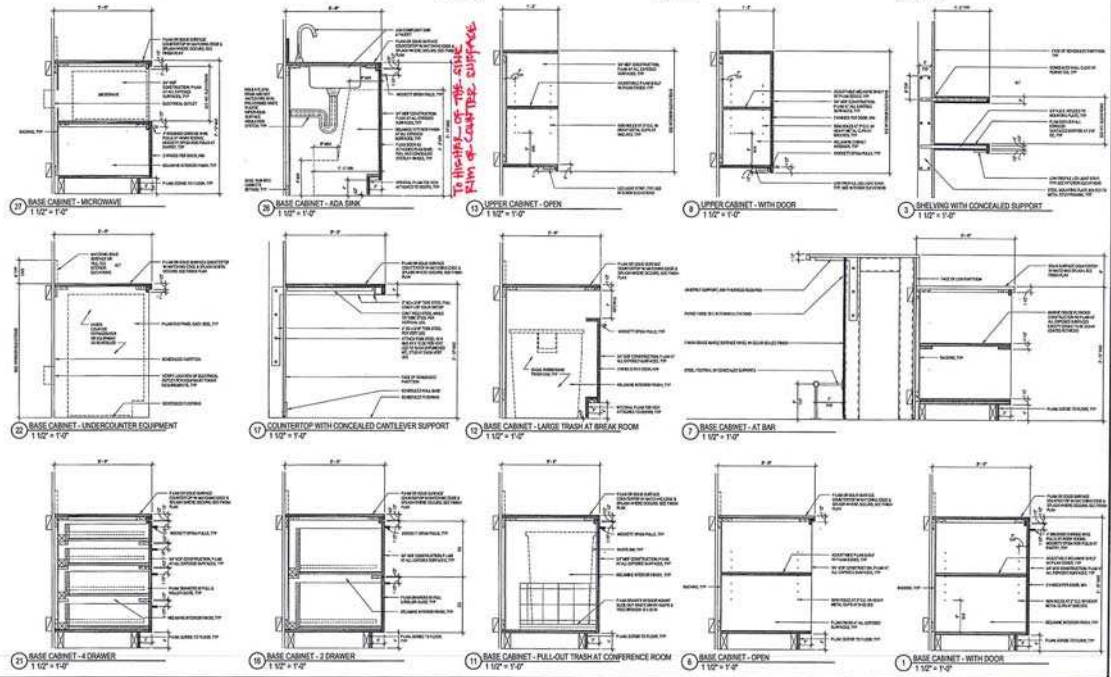
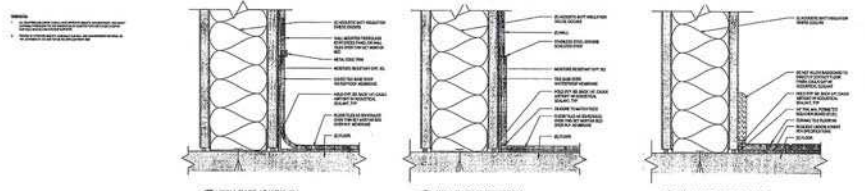
7 ACCESSIBLE PARKING STALL SIGN

LOCAL LAW ENFORCEMENT AGENCY OR TOWING COMPANY



8 INTERNATIONAL ACCESSIBILITY SYMBOL

TYPICAL MILLWORK AND BASE DETAILS



To illustrate the use of this detail, a note is provided on the ADA sink detail.

NO.	DESCRIPTION	DATE



DIABLO HILLS GOLF COURSE

1501 HARBORLANDS DRIVE
WALNUT CREEK, CA 94598

WILLIAM WOOD ARCHITECTS, INC.
1501 HARBORLANDS DRIVE
WALNUT CREEK, CALIFORNIA 94598
(925) 938-0222

PROJECT	
DATE	
SCALE	